

VICINITY MAP - N.T.S.

R. JOE HARRIS & ASSOCIATES, INC. HAS NOT PERFORMED A BOUNDARY SURVEY NOR VERIFIED ACCURACY OF INFORMATION SHOWN. BOUNDARY REPRESENTATIONS ARE TAKEN FROM YORK COUNTY GIS AND SHALL BE USED FOR REFERENCE ONLY.

TOPOGRAPHIC INFORMATION SHOWN IS 2019 GIS TOPOGRAPHY FOR YORK COUNTY AND SHOWN AT ONE (1) FOOT CONTOUR INTERVALS. ACCURACY OF THIS INFORMATION HAS NOT BEEN VERIFIED.

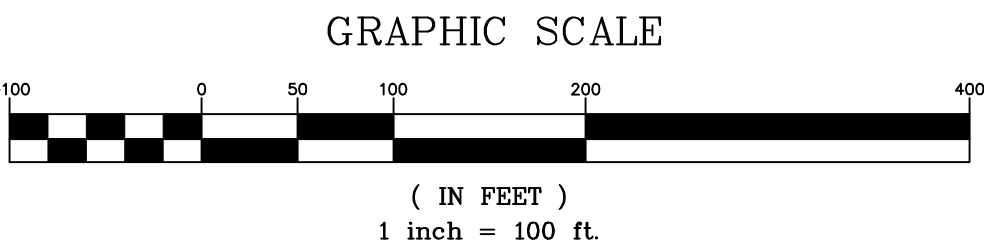
PROPERTY IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE AS DEPICTED ON FEMA/FIRM PANEL 45091C0277E WITH EFFECTIVE DATE OF SEPTEMBER 26, 2008. FLOOD BOUNDARIES TAKEN FROM FEMA WEBSITE.

GENERAL INFORMATION:

PROJECT: BLACK HIGHWAY PUD  
DEVELOPER: SOUTH FORK VENTURES, LLC  
OWNERS: WESTERN CAROLINA HOLDINGS LLC  
COOK BETTY U TRUSTEE  
PARCELS: 070-01-01-068, 069, 070  
070-23-01-042  
ACREAGE: 45.9 ACRES± (RESIDENTIAL)  
6.8 ACRES± (COMMERCIAL)  
52.7 ACRES± (TOTAL)  
EXISTING ZONING: R-15  
PROPOSED ZONING: PLANNED UNIT DEVELOPMENT

DEVELOPMENT INFORMATION:

PROPOSED USE: PLANNED UNIT DEVELOPMENT TO INCLUDE SINGLE FAMILY DETACHED AND COMMERCIAL  
RESIDENTIAL UNITS: 131 - SINGLE FAMILY DETACHED (43' WIDE)  
13 - SINGLE FAMILY DETACHED (53' WIDE)  
8 - SINGLE FAMILY DETACHED (65' WIDE)  
152 - TOTAL LOTS (3.33 UNITS/ACRE)  
COMMERCIAL: 3 OUT PARCELS  
SINGLE FAMILY DETACHED:  
- MIN. LOT WIDTH: 43 FT.  
(AT FRONT S.B.)  
- MIN. LOT DEPTH: 125 FT.  
- MIN. LOT SIZE: 5,375 FT.  
- SETBACKS/YARDS: FRONT - 25 FT.  
CORNER - 10 FT.  
SIDE - 6 FT.  
REAR - 15 FT.  
COMMERCIAL:  
- SETBACKS/YARDS: FRONT - 50 FT.  
SIDE (EXTERIOR) - 15 FT.  
SIDE (INTERIOR) - 0 FT.  
REAR - 15 FT.  
OPEN SPACE: PROPOSED - 18.9 ACRES± (35.9%)  
(4.28 ACRES OF IMPROVED OPEN SPACE)  
BUFFERYARDS: AS DEPICTED ON PLAN  
STORMWATER: STORM DRAIN SYSTEM DESIGNED FOR 10-YEAR STORM DETENTION FOR 2 & 10-YEAR STORM EVENTS  
STREETS: 22 FT. PAVED ROADS W/2FT VALLEY CURB  
MIN. CENTERLINE RADIUS OF 150 FT.  
5' SIDEWALK ON 1-SIDE OF EACH STREET



DATE	ISSUED FOR	REV
10/30/2020	Submittal to City	0
11/20/2020	Second Submittal to City	1

Engineer:

R. Joe Harris & Associates, Inc.  
Engineering • Land Surveying • Planning  
Management  
1100 Stoneroot Blvd., Tega Cay, S.C. 29708 P: (803) 802-1799

www.rjoeharris.com

This drawing shall not be used for construction purposes until the seal and signature of the responsible registrant appears on the drawing, and proper permit forms and related fees are transmitted by the Owner, Owner's Agent or Contractor to the Authority having jurisdiction.

**CONCEPTUAL  
NOT FOR CONSTRUCTION**

Project Manager	Drawn
B. Pridemore	N. Spinella
Department Manager	Checked
P. Murphy	J. Murdock
Print/Plot Date	
November 20, 2020	
Asbuilt Drawn	Asbuilt Date
-	-
Client	
SOUTH FORK VENTURES LLC 3712 RIVERGRASS LANE YORK, SOUTH CAROLINA 29745 P: 704-254-3137	
Project:	
BLACK HIGHWAY PUD	
Drawing Title:	
REZONING MASTER PLAN PUD Rezoning Plan	
Project No.	Drawing No.
4372	PUD-1
DWG File Name:	
4372 - Black Highway Rezoning	





EXAMPLE PRODUCTS  
43' WIDE LOTS

EXAMPLES ARE FOR ILLUSTRATIVE PURPOSE ONLY AND ARE SHOWN TO REPRESENT TYPES AND STYLE OF HOMES TO BE BUILT.

ACTUAL HOMES MAY VARY BUT SHALL MEET OR EXCEED STYLE OF HOMES SHOWN.



EXAMPLE PRODUCTS  
53' & 65' WIDE LOTS

EXAMPLES ARE FOR ILLUSTRATIVE PURPOSE ONLY AND ARE SHOWN TO REPRESENT TYPES AND STYLE OF HOMES TO BE BUILT.

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#### CITY OF YORK STANDARDS & REQUIREMENTS:

- ALL PERTINENT REQUIREMENTS OF THE CITY OF YORK ZONING AND SUBDIVISION ORDINANCES (APPENDICES A & B OF THE YORK CITY CODE) MUST BE MET.
- THE STREETSCAPING OF INTERIOR STREETS SHALL BE PER STANDARD CITY OF YORK REQUIREMENTS: - STREET TREES (3 DIFFERENT SPECIES IN A PATTERN) - STREET LIGHTING - SIDEWALKS - ETC.
- SCREENING/LANDSCAPING TO BE PROVIDED WHERE LOTS BACK DIRECTLY ADJACENT TO ANOTHER LOT. AT A MINIMUM, DEVELOPER TO PROVIDE A MIX OF EVERGREEN TREES AND SMALL MATURING TREES SPACED 30' ON-CENTER BETWEEN THE FOLLOWING LOTS:
  - LOTS 51-52; 83
  - LOTS 141-145
  - LOTS 49; COMMERCIAL LOTEVERGREEN TREES SHALL BE MIN. OF 6' IN HEIGHT AT TIME OF PLANTING AND SMALL CANOPY TREES SHALL BE MIN. 1.5" IN CALIPER TREES MAY BE PLANTED ALONG SHARED PROPERTY LINES OR STAGGERED ON EACH SIDE OF THE PROPERTY LINE.
- STREET TREES SHOULD BE INSTALLED FOR THE ENTIRE COMMERCIAL/RESIDENTIAL FRONTAGE IN ORDER TO ENSURE CONSISTENCY OF TREE SIZES.
- WHEN APPLICABLE, PROVIDE APPROPRIATE LANDSCAPE SCREENING FOR LOTS WITH DOUBLE STREET FRONTAGE.
- IDENTIFICATION MARKERS SHALL BE PROVIDED FOR ACCESS POINTS TO OPEN SPACE.
- ANY PROPOSED SUBDIVISION SIGNAGE, HOME OCCUPATION, OR ACCESSORY STRUCTURE SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD CITY OF YORK REQUIREMENTS. SIGNAGE EASEMENT(S) MUST BE NOTED ON THE PRELIMINARY AND FINAL PLAT SUBMITTALS.
- COMMUNITY MAILBOXES SHALL BE INSTALLED PER USPS REQUIREMENTS. AN APPROPRIATE NUMBER OF PARKING SPACES FOR THE COMMUNITY MAILBOXES AS WELL AS LANDSCAPING AND BUFFERING SHALL BE PROVIDED.
- OFF-STREET PARKING, WHEN REQUIRED, SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS EXCEPT AS OTHERWISE APPROVED BY CITY COUNCIL.
- OVERALL LANDSCAPING/BUFFERS SHALL BE DESIGNED PER STANDARD CITY OF YORK REQUIREMENTS.
- DEDICATED STREET, UTILITY, AND OTHER RIGHTS-OF-WAY FOR STUB STREETS SHALL BE PROVIDED TO THE ADJACENT PROPERTY LINE. THE BUILD OF PHYSICAL IMPROVEMENTS IS NOT REQUIRED PER THIS PLAN.
- AT THE FINAL PLAT STAGE, THE METHOD(S) MUST BE IDENTIFIED FOR ENSURING THAT ALL REQUIRED IMPROVEMENTS ARE INSTALLED AND MAINTAINED. DEED RESTRICTIONS, ETC. MUST BE SUBMITTED FOR CITY REVIEW AT THE FINAL PLAT STAGE (AND ULTIMATELY RECORDED).
- VESTED RIGHTS TO THE PROJECT SHALL EXPIRE IF ANY OF THE FOLLOWING OCCURS: - IF A PRELIMINARY PLAT IS NOT APPROVED WITHIN 2 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL, OR - IF THE TIME PERIOD BETWEEN PRELIMINARY AND FINAL PLAT APPROVALS EXCEED 2 YEARS, OR - IF ANY PORTION OF THE APPROVED CONCEPTUAL SITE PLAN IS NOT GIVEN FINAL PLAT APPROVAL WITHIN 5 YEARS OF PUD CONCEPTUAL SITE PLAN APPROVAL
- ALL SCDHEC REQUIREMENTS MUST BE MET REGARDING STORMWATER. THE STORMWATER AREAS SHALL BE FENCED, LANDSCAPED, MAINTAINED, ETC. PER CITY AND SCDHEC REQUIREMENTS.
- ALL SCDOT REQUIREMENTS FOR THE PROJECT MUST BE MET INCLUDING CROSSWALKS, SIGNAGE, ETC.
- ALL REQUIREMENTS OF THE CITY OF YORK FIRE AND PUBLIC WORKS DEPARTMENTS SHALL BE MET AT THE PRELIMINARY AND FINAL PLAT STAGES.
- A PHASING PLAN MUST BE PRESENTED AT THE PRELIMINARY PLAT STAGE.
- THE SUBDIVISION NAME AND STREET NAMES MUST BE APPROVED BY THE YORK COUNTY PREPAREDNESS 911 DIVISION AS PART OF THE PRELIMINARY PLAT.
- COMMERCIAL PARCELS SHALL COMPLY WITH HIGHWAY COMMERCIAL (HC) DISTRICT ZONING AND USE REQUIREMENTS
- DEVELOPMENT WITHIN 500' OF THE ALEXANDER LOVE HIGHWAY RIGHT OF WAY SHALL COMPLY WITH GATEWAY CORRIDOR OVERLAY DISTRICT REQUIREMENTS.

#### CONDITIONAL NOTES:

##### ARCHITECTURALS:

- EXTERIOR BUILDING MATERIALS MAY INCLUDE VINYL SIDING, FIBER CEMENT, BRICK, STONE, STUCCO, WOOD OR COMBINATION THEREOF. VINYL SHALL ONLY BE USED FOR SIDES AND REAR OF HOMES AND MUST BE UPGRADED FROM BUILDER GRADE TO STANDARD GRADE THICKNESS (0.044").
- FRONT FACING GARAGE DOORS SHALL BE PROVIDED WITH WINDOWS, CARRIAGE STYLE HARDWARE, OR SEPARATED INTO 1-BAY GARAGE DOORS (NOT A SINGLE 2-CAR GARAGE DOOR).
  - INTERNAL TOWN HOME UNITS MAY HAVE 1-CAR GARAGE BUT MUST PROVIDE 2 SPACES IN DRIVEWAY.
- NO SAME TWO MODELS OF HOME SHALL BE DIRECTLY ADJACENT TO EACH OTHER OR LOCATED DIRECTLY ACROSS THE STREET FROM EACH OTHER, UNLESS MODEL ELEVATIONS ARE SUBSTANTIALLY DIFFERENT FROM EACH OTHER VISUALLY.
- A VARIETY OF COLOR PATTERNS SHALL BE PROVIDED SUCH THAT NO TWO HOMES DIRECTLY ADJACENT TO EACH OTHER ARE OF THE SAME COLOR.
- MINIMUM HEATED SQUARE FOOTAGE FOR EACH HOME SHALL BE NO LESS THAN 1,600 SQ. FT.
- MIN. PERMITTED ROOF PITCH SHALL BE NO FLATTER THAN 4/12 PITCH (18.4 DEGREES).

##### PERIMETER BUFFERS:

- PERIMETER BUFFERS SHALL GENERALLY BE LEFT UNDISTURBED EXCEPT FOR ROADS, STORM, UTILITIES AND OTHER REQUIRED PUBLIC IMPROVEMENTS (TRAILS/SIDEWALKS).
- DEVELOPER MAY TEMPORARILY ENCROACH INTO PERIMETER BUFFER/YARDS DURING CONSTRUCTION UNDER THE FOLLOWING CONDITIONS:
  - COMMERCIAL FRONTAGE MAY BE DISTURBED AND RE-PLANTED
  - INTERNAL BUFFERS BETWEEN COMMERCIAL AND RESIDENTIAL USES MAY BE DISTURBED AND RE-PLANTED
  - NO LESS THAN 15-FEET REMAINS UNDISTURBED FOR ALL OTHER PERIMETER BUFFERS SHOWN
  - ALL DISTURBED AREAS ARE RE-ESTABLISHED WITH VEGETATIVE COVER

##### STREETS:

- ALL ROADS WILL BE PUBLICLY DEDICATED FOR MAINTENANCE AND ACCEPTANCE BY THE CITY OF YORK, SUBJECT TO THE CITY'S WARRANTY AND ACCEPTANCE POLICIES.
- THE MINIMUM REQUIREMENTS AS SPECIFIED WITHIN THIS CONDITIONAL PLAN FOR PLANNED UNIT DEVELOPMENT.
- STREET TREES SHALL BE PLANTED 40-FEET O.C. (AVERAGE) ALONG BOTH SIDES OF ALL INTERNAL STREETS AND LOCATED OUTSIDE OF, BUT WITHIN 10-FEET OF THE PUBLIC RIGHT-OF-WAY (PLANTED WITHIN LOTS OR COMMON
- ALL LOTS SHALL CONTAIN AT LEAST ONE (1) STREET TREE.
- STREET TREES SHALL BE LARGE CANOPY VARIETIES AND BE MIN. 1-1/2 INCH CALIPER AT TIME OF PLANTING.

##### COMMON AREAS:

- ACTIVE OPEN SPACE AREAS SHALL BE IMPROVED AND MAY CONTAIN TRAILS, BENCHES, GARDENS, GAZEBOs, PAVILIONS, PICNIC AREAS AND/OR PLAYGROUNDS. ACTUAL IMPROVEMENTS SHALL BE DETERMINED DURING REVIEW OF THE PRELIMINARY PLAT/CONSTRUCTION DOCUMENTS.
- AMENITY AREA SHALL BE IMPROVED AND MAY CONTAIN PLAYGROUNDS OR PAVILIONS. ACTUAL IMPROVEMENTS SHALL BE DETERMINED DURING REVIEW OF THE PRELIMINARY PLAT/CONSTRUCTION DOCUMENTS.
- NATURAL SURFACE TRAILS SHALL BE MIN. 48-INCHES IN WIDTH.
- PAVED SURFACE TRAILS SHALL BE MIN. 60-INCHES IN WIDTH.
- PASSIVE COMMON AREAS SHALL BE LEFT UNDISTURBED TO MAXIMUM EXTENT PRACTICAL.
- ALL COMMON OPEN SPACES (PASSIVE AND ACTIVE) SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- COMMUNITY MAILBOXES FOR THE RESIDENTIAL DEVELOPMENT SHALL BE LOCATED ON THE CENTRAL AMENITY SITE. FINAL LOCATION AND PARKING WILL BE DETERMINED WITH AMENITY SITE DESIGN. MAILBOXES FOR COMMERCIAL PARCELS SHALL BE SEPARATE AND WILL BE LOCATED ON THE COMMERCIAL PARCELS. ACTUAL LOCATION WILL BE DETERMINED WITH FINAL COMMERCIAL DESIGN.



##### BUILDING HEIGHTS:

- MAX BUILDING HEIGHT FOR RESIDENTIAL SHALL BE 35 FEET AND IF BUILDINGS EXCEED 30 FEET IN HEIGHT, ROADS SHALL INCREASE TO 26 FEET CLEAR WIDTH PER INTERNATIONAL FIRE CODE.

##### FENCING:

- ALL FENCING SHALL COMPLY WITH CITY OF YORK ZONING ORDINANCE SECTION 13.1.9

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Engineer:



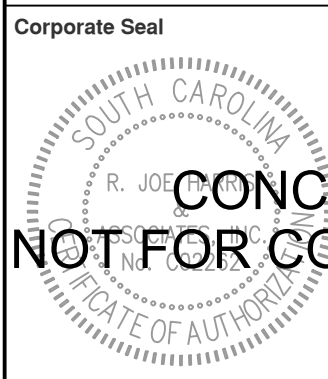
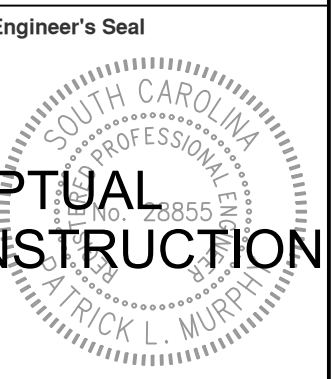
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Corporate Seal	Engineer's Seal
	

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4372 DWG File Name: 4372 - Black Highway Rezoning	PUD-2